Invitation to Bid

Painting of Buildings: 10, 11, 17, & 21 Pensacola Campus



Addendum 1

Question: Would it be possible to get drawings of the buildings? It would be immensely helpful to the bidding

competition as the different areas to be covered require various applications.

Response: Please see Attachment A. Note the drawings are for building measurements only. The exterior finish

may/may not be the current finish.

Question: Are we painting the back side of the concrete panels that wraps around the building 11 or just the front?

Response: Please price both options. Noted on bid form below.

Question: Please advise if the following is to be re-caulked

1 Window Caulking – Frame to glass

- 2 Window Caulking Frame to EIFS or Brick
- 3 Roof Coping
- 4 Roof Scuppers
- 5 Building lettering and other signage
- 6 Lighting Perimeter
- 7 Control Joints
- 8 Expansion Joints
- 9 Sidewalk to Building Joint
- 10 Door Frame Perimeter
- 11 Vents Perimeter
- 12 Dissimilar Substrate Caulk (i.e. Brick to EIRS, Brick to Concrete, etc)
- 13 Soffit to Wall
- 14 Special Joints at Building 17 Backside
- 15 Lintels (Door, Window, and Soffit)

Response:

- 1 Window Caulking Frame to glass No
- Window Caulking Frame to EIFS or Brick Yes
- 3 Roof Coping Yes
- 4 Roof Scuppers Yes
- 5 Building lettering and other signage Yes
- 6 Lighting Perimeter Yes
- 7 Control Joints Yes
- 8 Expansion Joints Yes
- 9 Sidewalk to Building Joint Yes
- 10 Door Frame Perimeter Yes
- 11 Vents Perimeter Yes
- 12 Dissimilar Substrate Caulk (i.e. Brick to EIRS, Brick to Concrete, etc) Yes
- 13 Soffit to Wall Yes
- 14 Special Joints at Building 17 Backside Yes
- 15 Lintels (Door, Window, and Soffit) Yes

Question: Please advise if the following is to be painted

- 1 Aluminum Windows and Storefront
- 2 Vents
- 3 Gates and Fences
- 4 Handrails
- 5 Roof Coping, Scuppers and Flashings
- 6 Greenhouse
- 7 Chillers, HVAC, or other Mechanical/Piping in Enclosed Areas
- 8 Metal Screen Walls
- 9 Decorative Metal
- 10 Lintels Doors/Windows/Soffit
- 11 Eyebrows
- 12 Curbing and Stripping or any other Site Painting
- 13 Planter Boxes
- 14 Hazardous Waste Out Building
- 15 Corridors and Breezeways Walls, Ceilings, and Floors
- 16 Interior Face of Service Doors
- 17 Rooftop Stucco/EIFS Parapets
- 18 Pressure Clean Sidewalks and Concrete Flatwork
- 19 Metal Supports at Chillers and Other Mechanical Systems

Response:

- 1 Aluminum Windows and Storefront No
- 2 Vents No
- 3 Gates and Fences No
- 4 Handrails No
- 5 Roof Coping, Scuppers and Flashings No
- 6 Greenhouse Yes
- 7 Chillers, HVAC, or other Mechanical/Piping in Enclosed Areas No
- 8 Metal Screen Walls No
- 9 Decorative Metal No
- 10 Lintels Doors/Windows/Soffit Yes
- 11 Eyebrows Yes
- 12 Curbing and Stripping or any other Site Painting No
- 13 Planter Boxes Yes
- 14 Hazardous Waste Out Building Yes
- 15 Corridors and Breezeways Walls, Ceilings, and Floors Walls and Ceilings
- 16 Interior Face of Service Doors No
- 17 Rooftop Stucco/EIFS Parapets Yes
- 18 Pressure Clean Sidewalks and Concrete Flatwork No
- 19 Metal Supports at Chillers and Other Mechanical Systems No

Question: Do all surfaces receive Tersus Color Coat?

Response: All EIFS receive Tersus Color Coat.

Question: Is there any extended warranty?

Response: No

Question: Are equals to Tersus allowed?

Response: Bidder may submit an equivalent manufacturer. If submitted an equivalent product, please include

documentation on the product. The College will be the ultimate determiner of equivalency and may

consult with the vendor and/or other parties to determine equivalency.

Question: Please confirm bid bonds are required.

Response: As noted in section, 1.11 of the specifications, "A bid bond or deposit, in the amount of five percent (5%)

of the base bid will be required to accompany each bid, as guarantee that the successful bidder, will enter into a contract with the Owner, if desired by same. Any deposit must be in the form of a Certified Check, or a Cashier's Check. The bid bond or deposit will be held as liquidated damages, in the event that the

successful bidder refuses to enter into a contract with the Owner."

Question: Can we offer discounts for award of multiple buildings?

Response: Yes, please indicate the cost of each building separately and then input the discount structure for the

award of multiple buildings as indicated on the revised bid form below.

Question: Will power and water be provided by the owner?

Response: Yes

Question: Will the contractor be required to provide sanitary toilets for their workers?

Response: Yes

Question: Will contractor be required to provide temporary [ingress and] egress into [and out of] the buildings

through the fencing required per Spec page 6, 3.09?

Response: Yes

Question: Can floor plans of the building[s] be provided?

Response: See Attachment B

Question: What are the permissible work hours? – No limitation on work hours.

Response: No limitation on work hours

Question: Can aerial lifts be brought on site?

Response: Yes

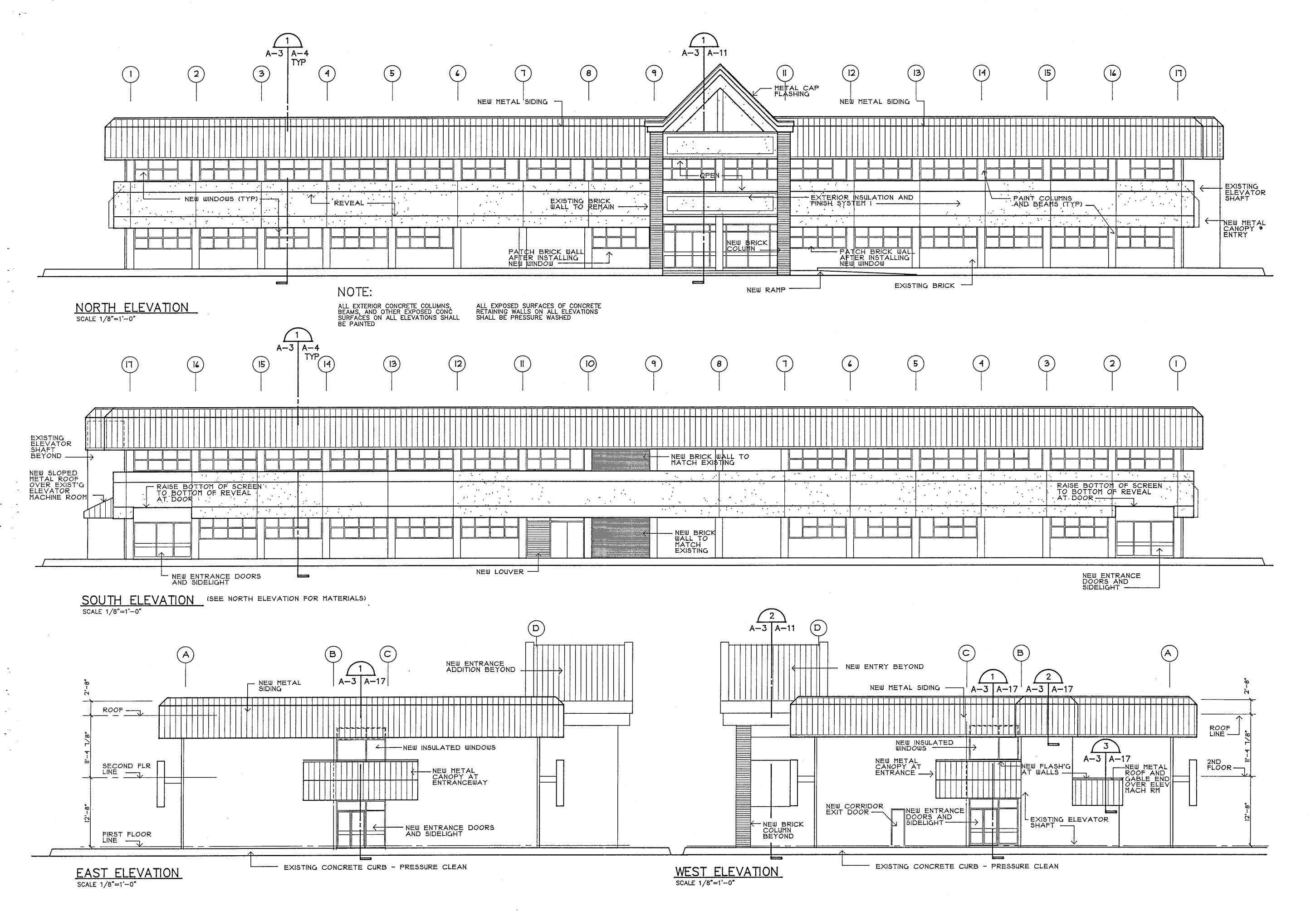
Question: [Follow up to above question] Are there height restrictions due to proximity to airport?

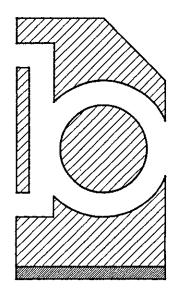
Response: No

BID FORM

Total Lump Sum Cost as specified building 10 \$	
Total Lump Sum Cost as specified building 11 \$	
Total Lump Sum Cost as specified building 17 \$	
Total Lump Sum Cost as specified building 21 \$	
Payment Terms: Net 30 days or prompt payment discount of%, Days offered by Proposer.	
Discount percentage provided for award of Building 10 & 11%	
Discount percentage provided for award of Building 10 & 17%	
Discount percentage provided for award of Building 10 & 21%	
Discount percentage provided for award of Building 11 & 17%	
Discount percentage provided for award of Building 11 & 21%	
Discount percentage provided for award of Building 17 & 21%	
Discount percentage provided for award of Building 10, 11, & 17%	
Discount percentage provided for award of Building 10, 11, & 21%	
Discount percentage provided for award of Building 10, 17, & 21%	
Discount percentage provided for award of Building 11, 17, & 21%	
Discount percentage provided for award of Building 10, 11, 17, 21%	
Include tentative schedule with bid.	
Firm	
Authorized Agent Name Signature Date	

Firms certify by their signature they have read and understand the conditions and specifications of this Invitation to Bid and they have the authority, capacity, and capability to perform all conditions and specifications of this Invitation to Bid.

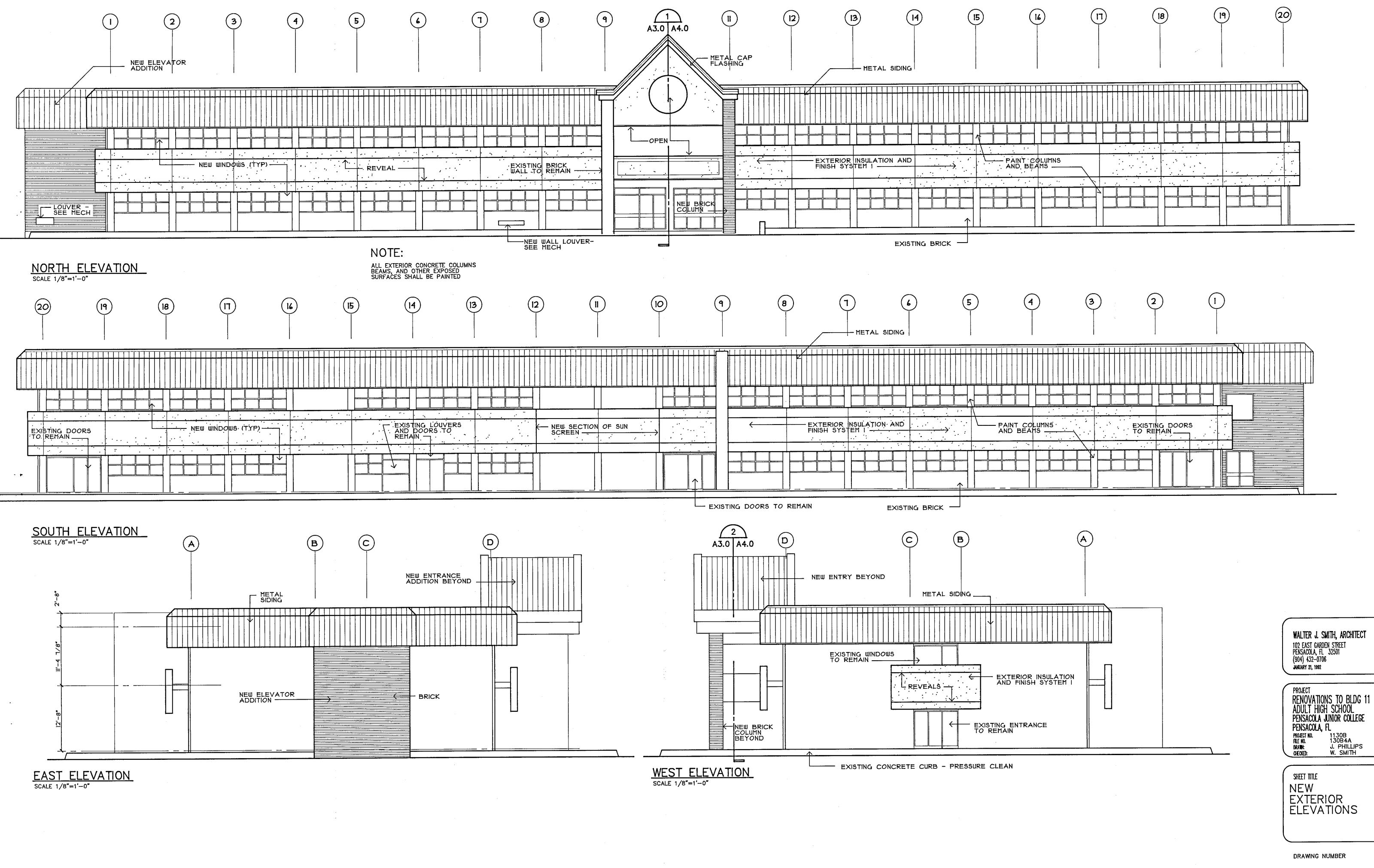




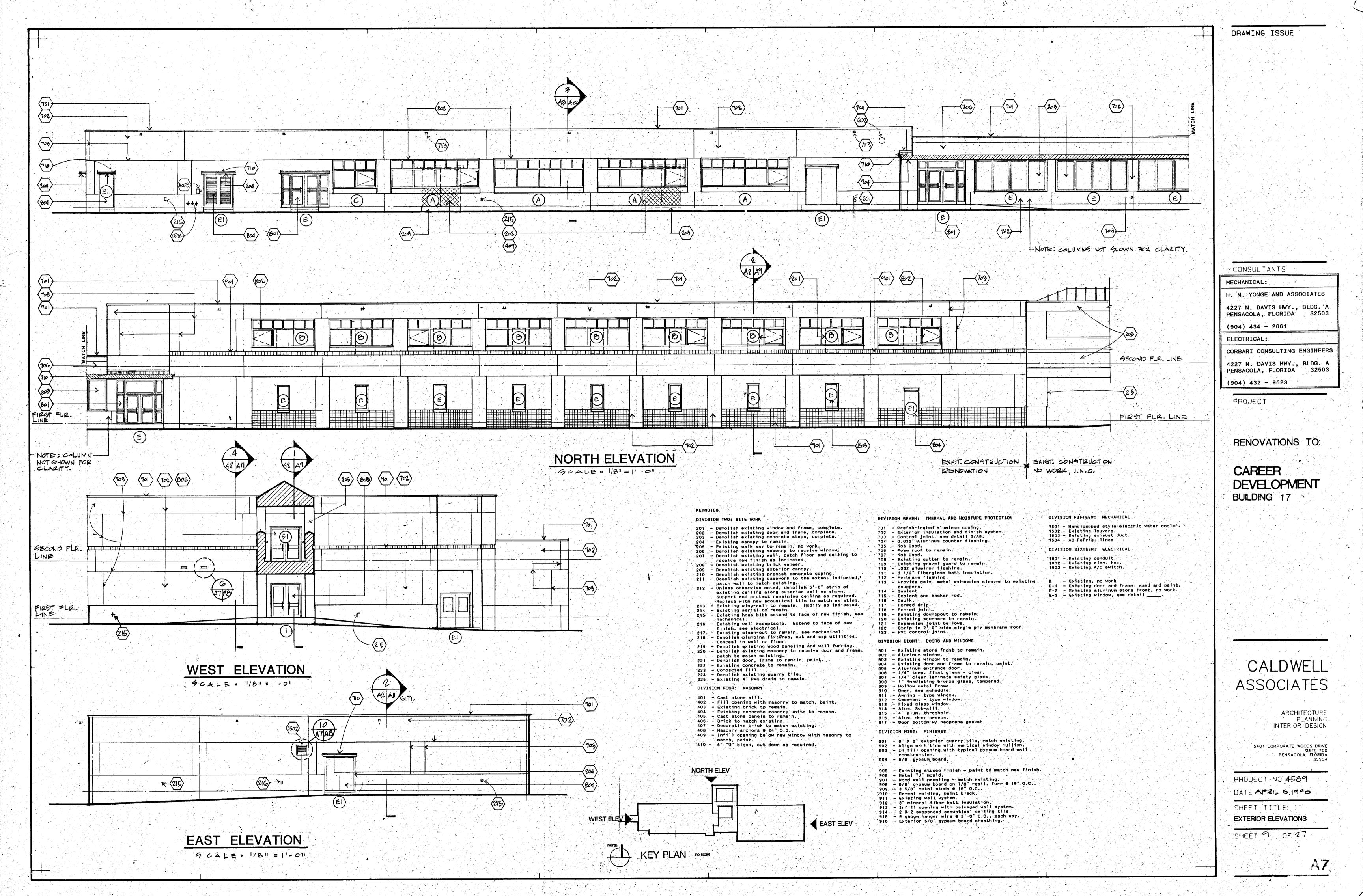
BAY DESIGN ASSOCIATES

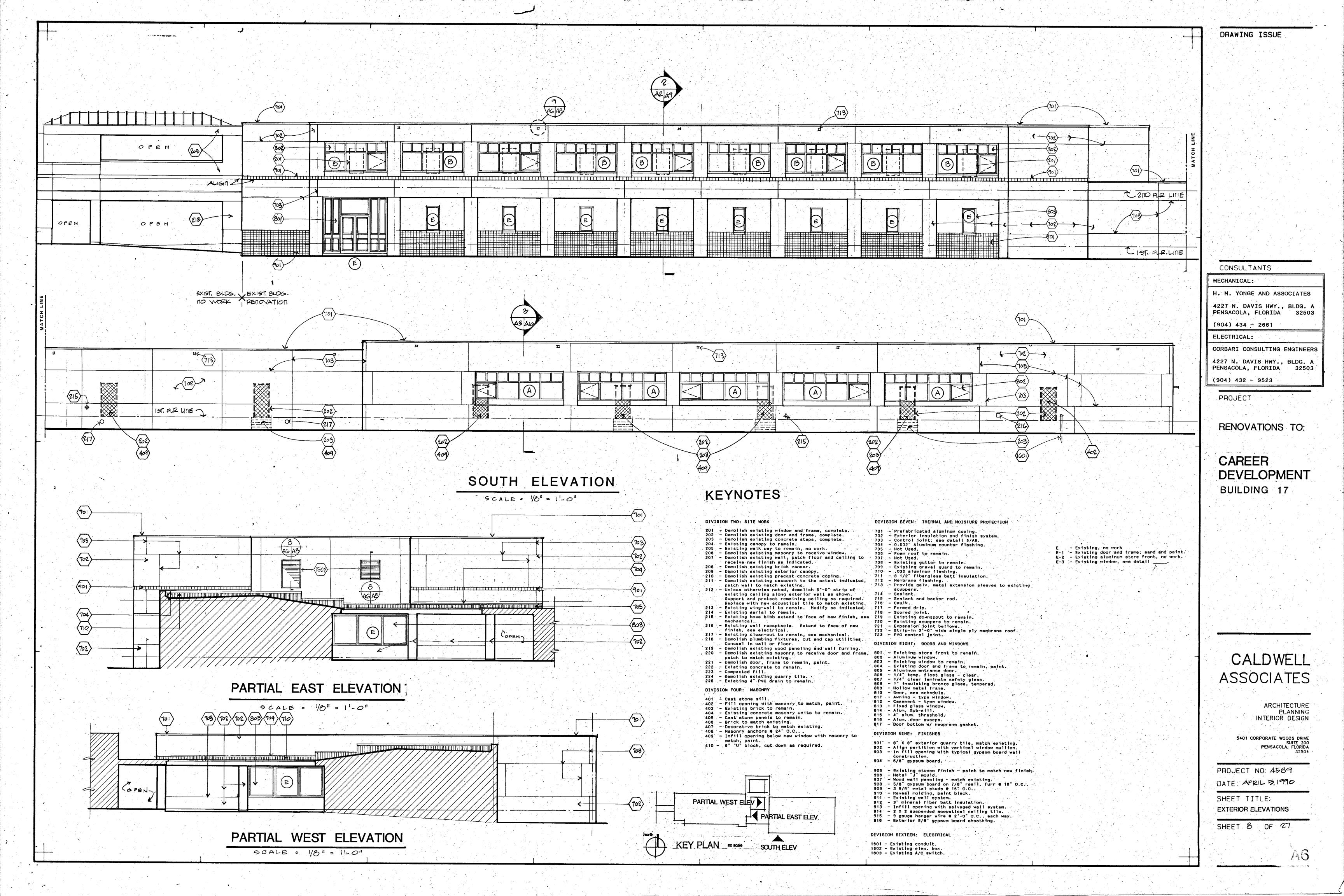
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RESIDENTIONS AND ALTERATIONS - RUSINESS FOLICATION BLILLDING 10		JOB NO:	DESIGN: WJS
		0/11	DRAWN : W.IS
LENGTHOLY COLLEGE		· ON 12	200
PENSACOLA CAMPUS		170A3	CHECKED : GSJ
		DATE:	REVISION:
NEW EXIERIOR ELEVATIONS		NOVEMBER 17, 1992	
ARCHITECTS PLANNERS 102 EAST GARDEN STREET PENSACOLA, FLORIDA 32501	(904	(904) 432-0706	FAX: (904) 433-0508

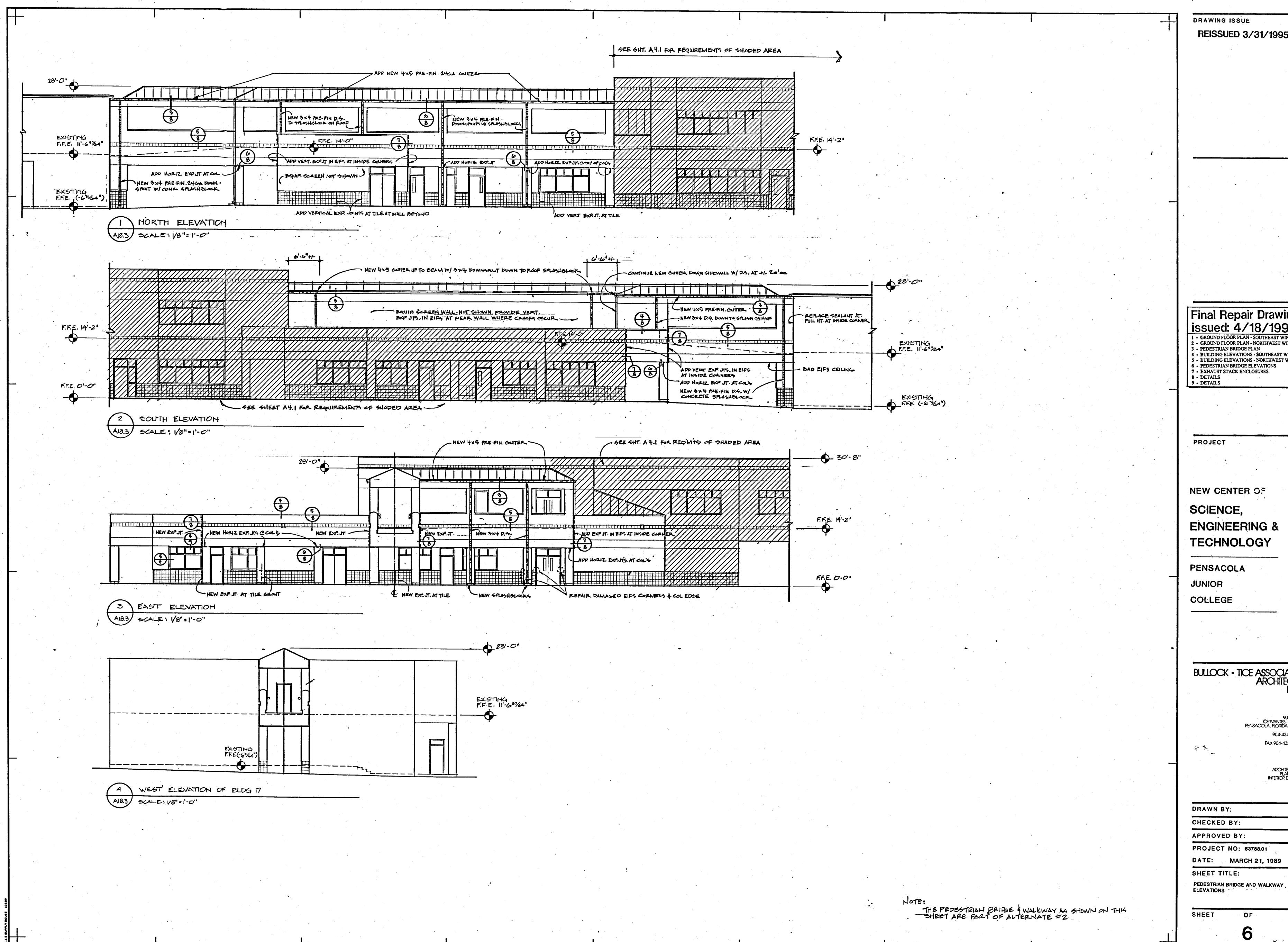
SHEET NO:



A - 3.0







DRAWING ISSUE

REISSUED 3/31/1995

Final Repair Drawings issued: 4/18/1997

- GROUND FLOOR PLAN - NORTHWEST WING 6 - PEDESTRIAN BRIDGE ELEVATIONS

7 - EXHAUST STACK ENCLOSURES
8 - DETAILS
9 - DETAILS

PROJECT

NEW CENTER OF

SCIENCE, **ENGINEERING &** TECHNOLOGY

PENSACOLA

JUNIOR

COLLEGE

BULLOCK • TICE ASSOCIATES ARCHITECTS INC

909 EAST CERVANTES, SUITE B PENSACOLA, FLORIDA 32501

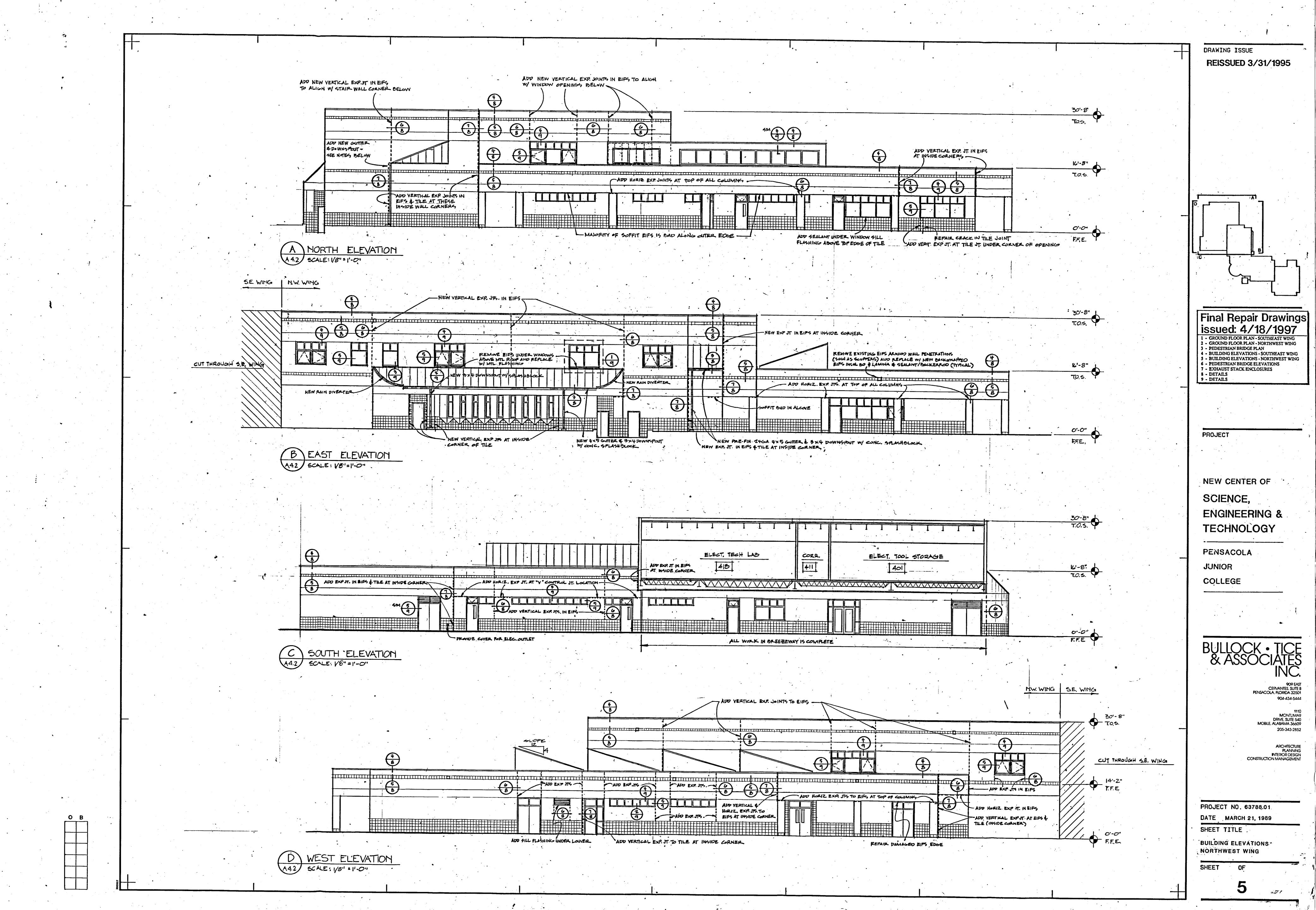
ARCHITECTURE PLANNING INTERIOR DESIGN

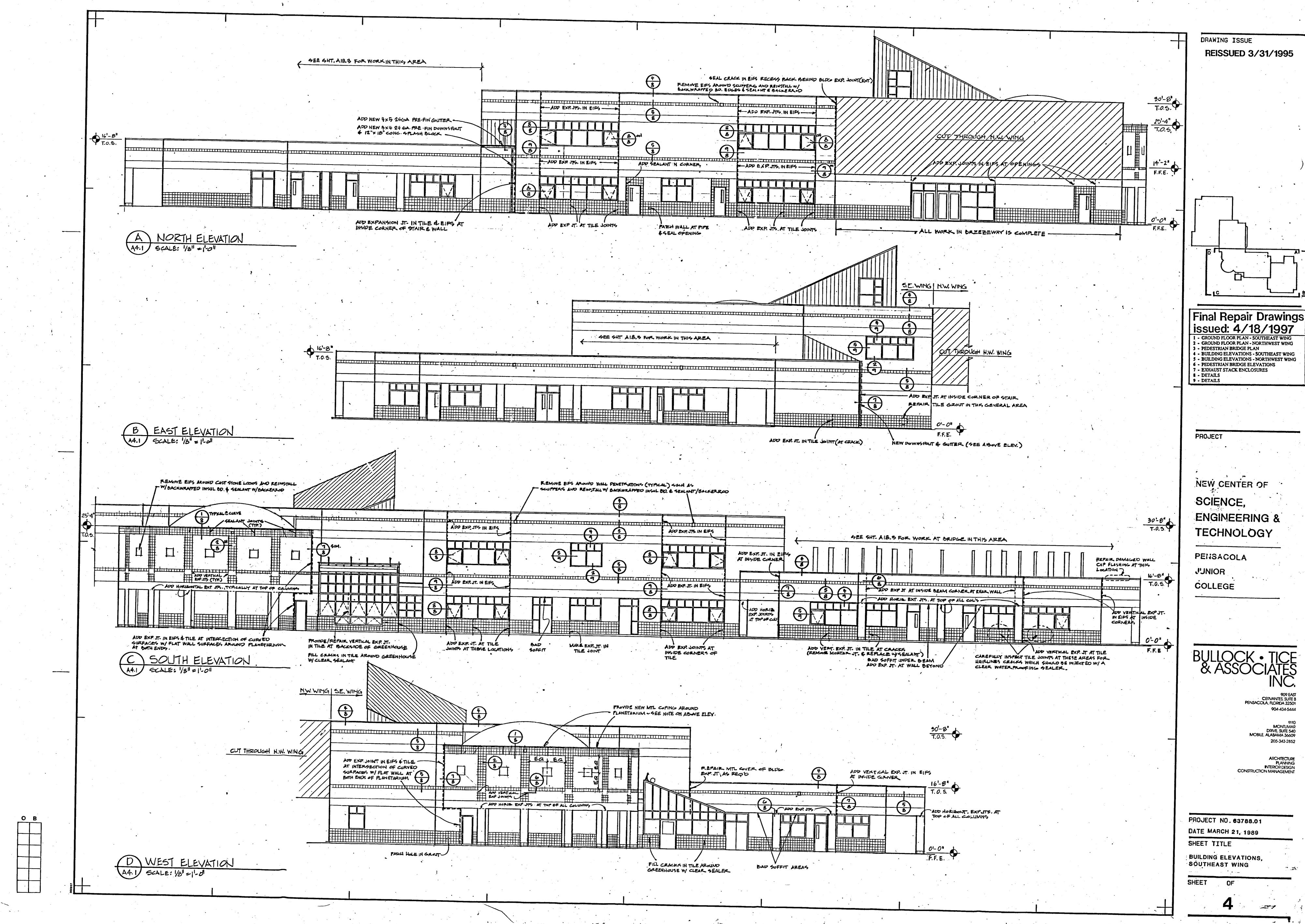
FAX 904-432-5208

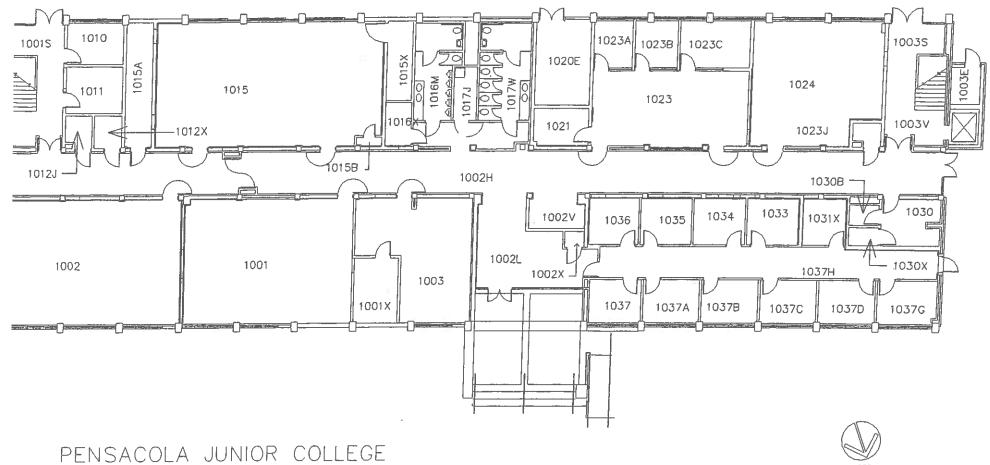
CHECKED BY:

PROJECT NO: 63788.01

SHEET TITLE:





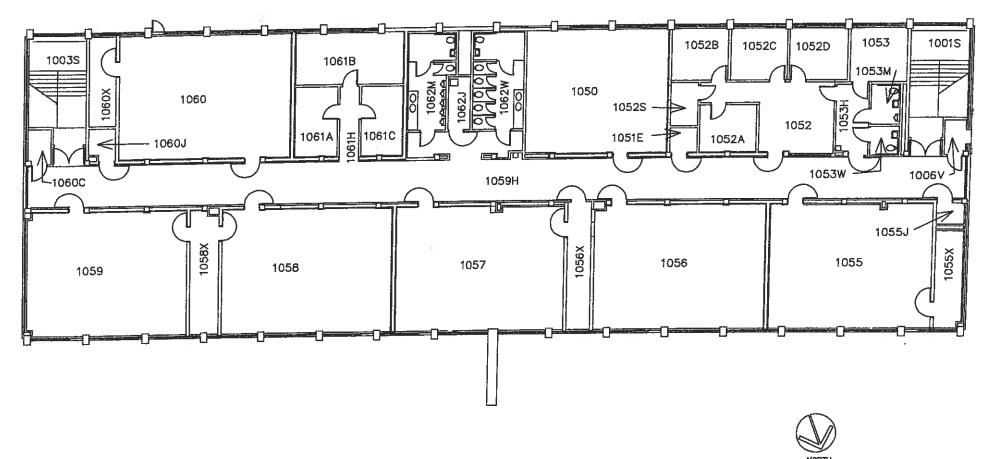


PENSACOLA JUNIOR COLLEGE PENSACOLA CAMPUS SITE NO. 1

FACILITY NO. 10

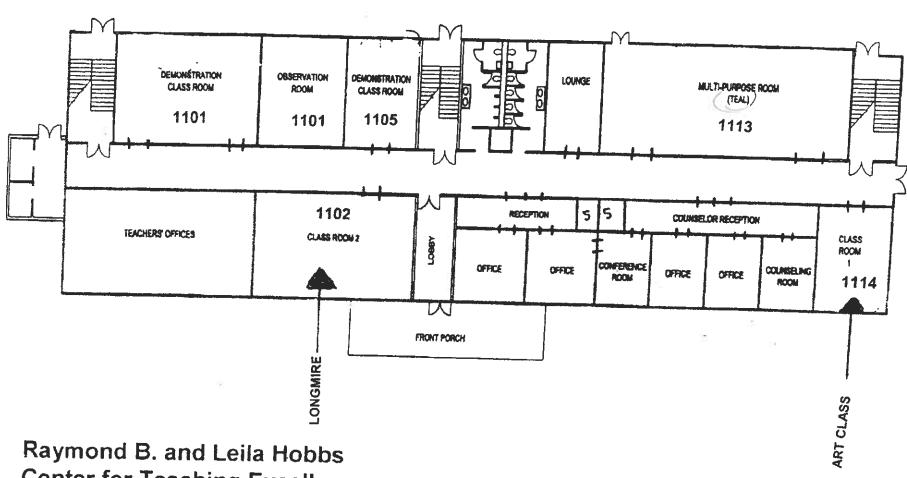
FACILITY NAME: BUSINESS EDUCATION

FIRST FLOOR

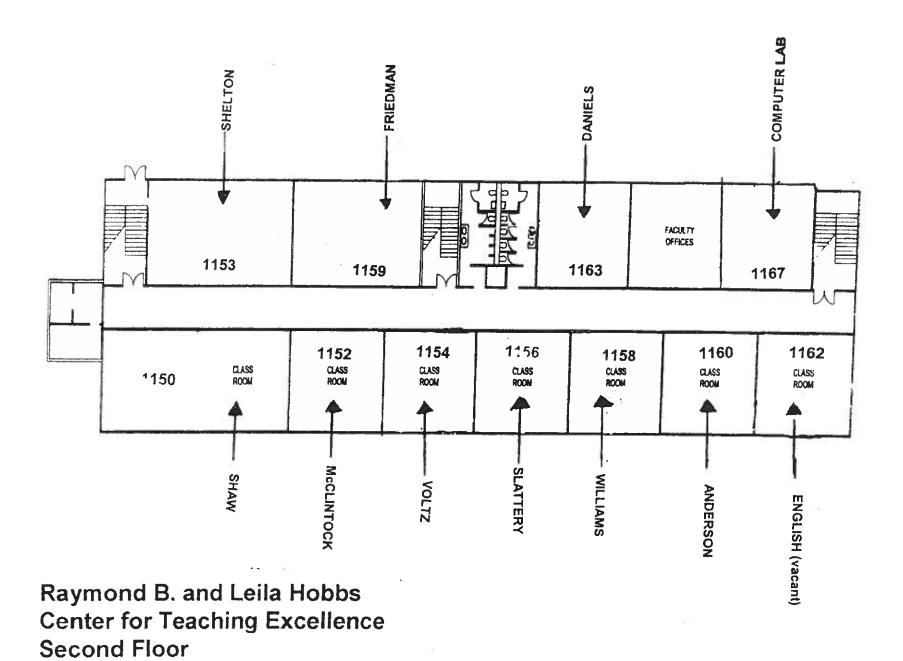


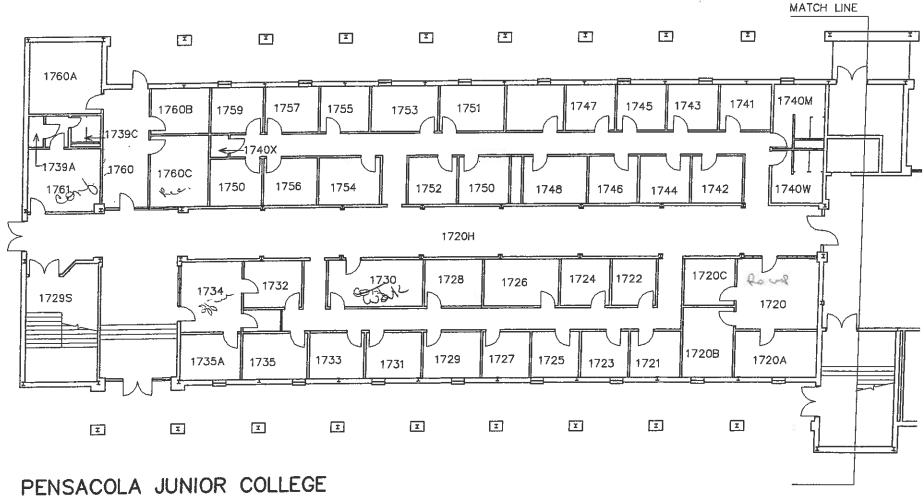
PENSACOLA JUNIOR COLLEGE
PENSACOLA CAMPUS
SITE NO. 1
FACILITY NO. 10
FACILITY NAME: BUSINESS EDUCATION
SECOND FLOOR

CLASSROOM ASSIGNMENTS 2008 HOBBS CENTER



Raymond B. and Leila Hobbs
Center for Teaching Excellence
First Floor





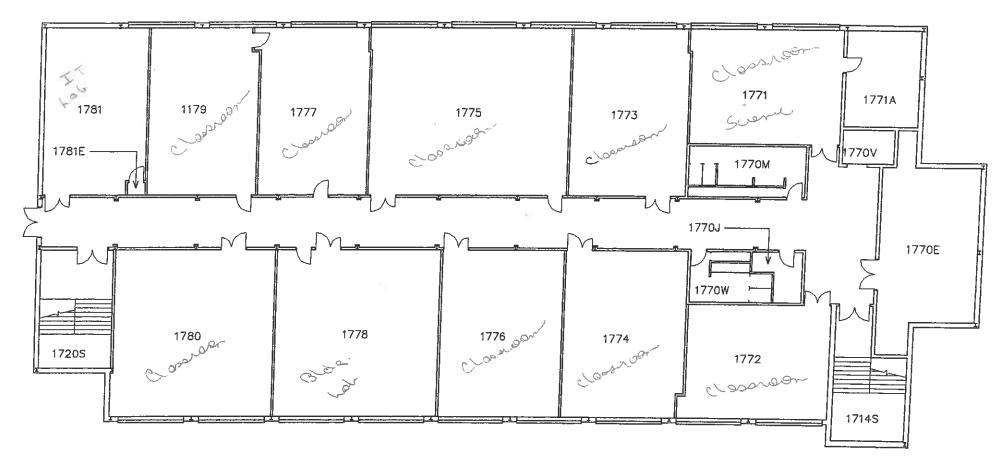
SITE NO. 1

FACILITY NO. 17

FACILITY NAME: SCIENCE & TECHNOLOGY EAST

FIRST FLOOR WEST





PENSACOLA JUNIOR COLLEGE

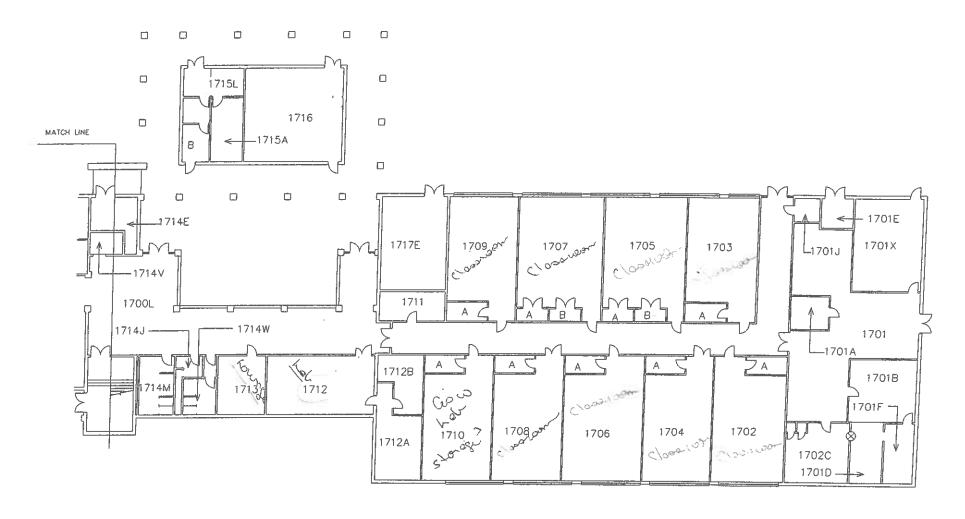
SITE NO. !

FACILITY NO. 17

FACILITY NAME: SCIENCE & TECHNOLOGY EAST

SECOND FLOOR WEST



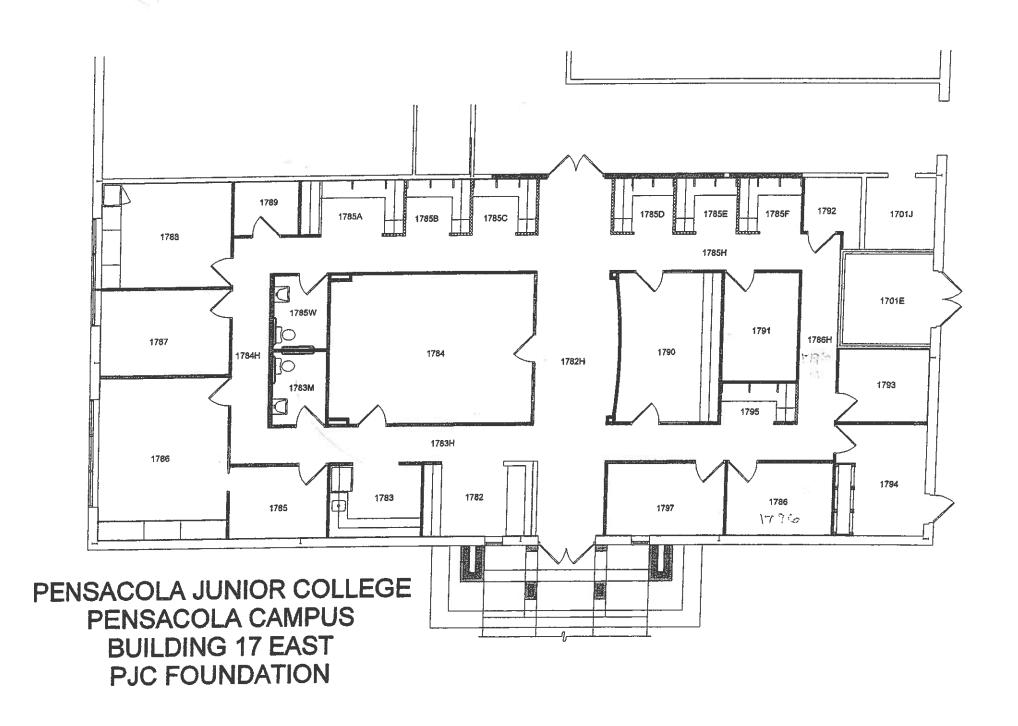


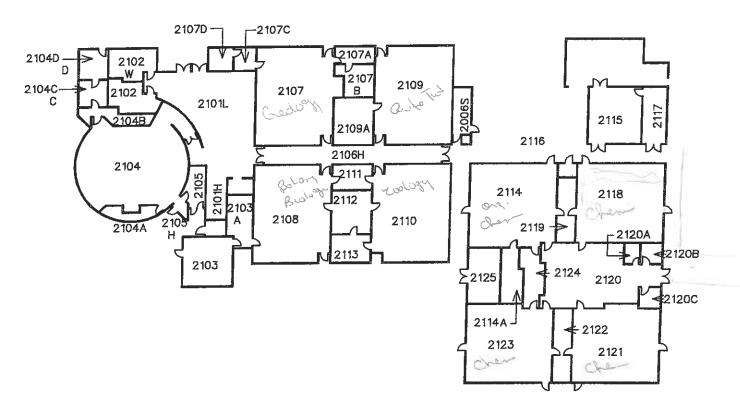
PENSACOLA JUNIOR COLLEGE SITE NO. 1 FACILITY NO. 17

FACILITY NAME: SCIENCE & TECHNOLOGY EAST

FIRST FLOOR EAST

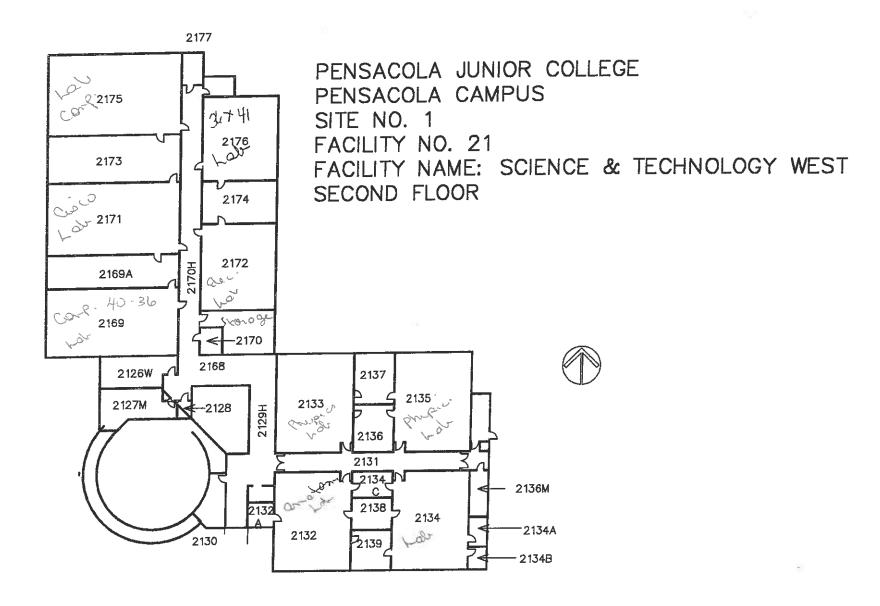


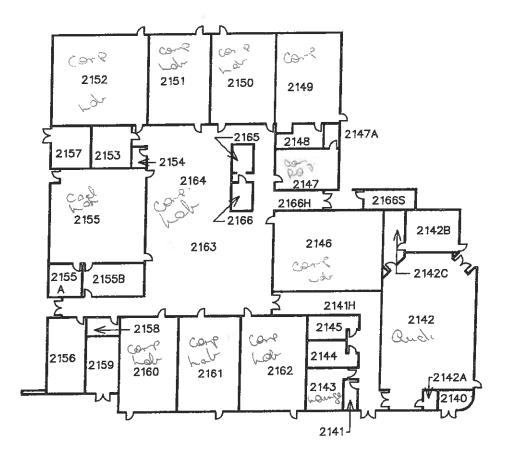




PENSACOLA JUNIOR COLLEGE
PENSACOLA CAMPUS
SITE NO. 1
FACILITY NO. 21
FACILITY NAME: SCIENCE & TECHNOLOGY WEST
FIRST FLOOR SOUTH







PENSACOLA JUNIOR COLLEGE
PENSACOLA CAMPUS
SITE NO. 1
FACILITY NO. 21
FACILITY NAME: SCIENCE & TECHNOLOGY WEST
FIRST FLOOR NORTH

